

Charlton Parish Character Appraisal



Neighbourhood Plan Appendix 1 c

Prepared by the Neighbourhood Plan Steering Group in conjunction with
Bluestone Planning
in respect of the Charlton Neighbourhood Plan

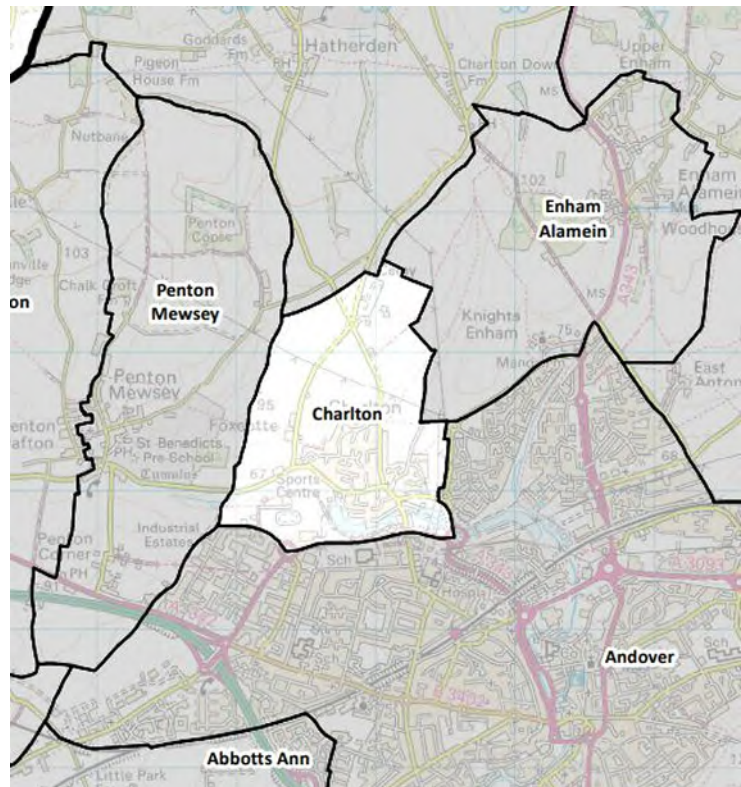
Second Draft
August 2019

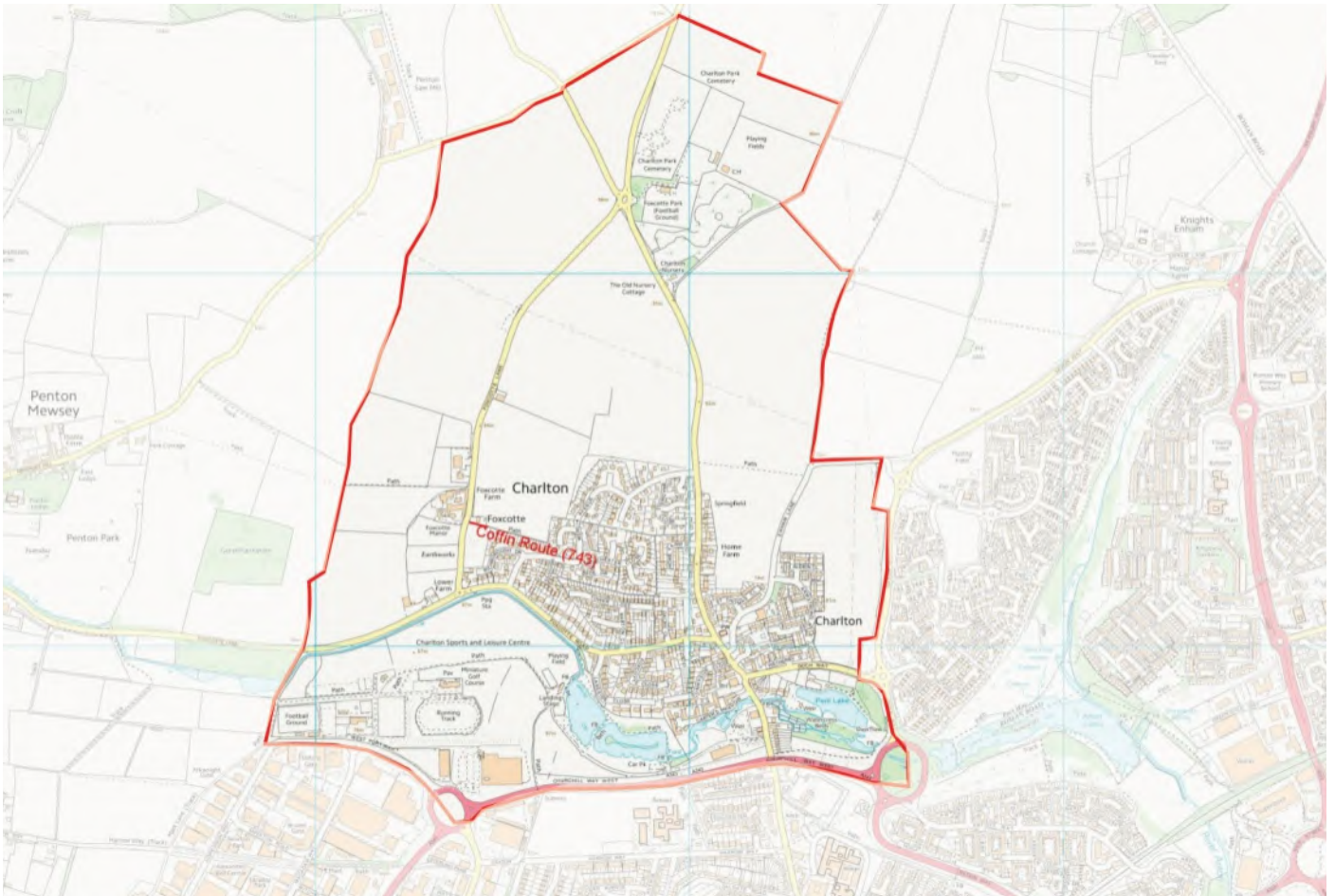
Introduction

This character appraisal has been prepared by Charlton Parish Neighbourhood Plan Steering Group.

The aim of the report is to provide evidence regarding the character of the Parish and how it is perceived by its residents.

In order to successfully plan for the future growth and development of the parish it is imperative that there is a clear understanding of its character and what makes it unique.





What is a Character Appraisal?

A character appraisal is a document which sets out the special interest, character and appearance of a particular place to highlight its local distinctiveness and identity.

The Appraisal itself is a factual and objective analysis, which seeks to enable an understanding of the wider qualities of distinctiveness of place by defining those physical elements that contribute to its special characteristics. Essentially it identifies those qualities that help to define and make the place unique: such as open space, materials, property type, maintenance, age of the structures.

In this instance, the study will define the character of the parish's built up area as a series of character areas. Each area is described against a series of common physical characteristics.

Whilst this appraisal seeks to assess the area's special interest as comprehensively as possible, it cannot cover the minutiae of all issues. Consequently, any omission of a particular building, feature or space should not be taken to imply that it has no value or

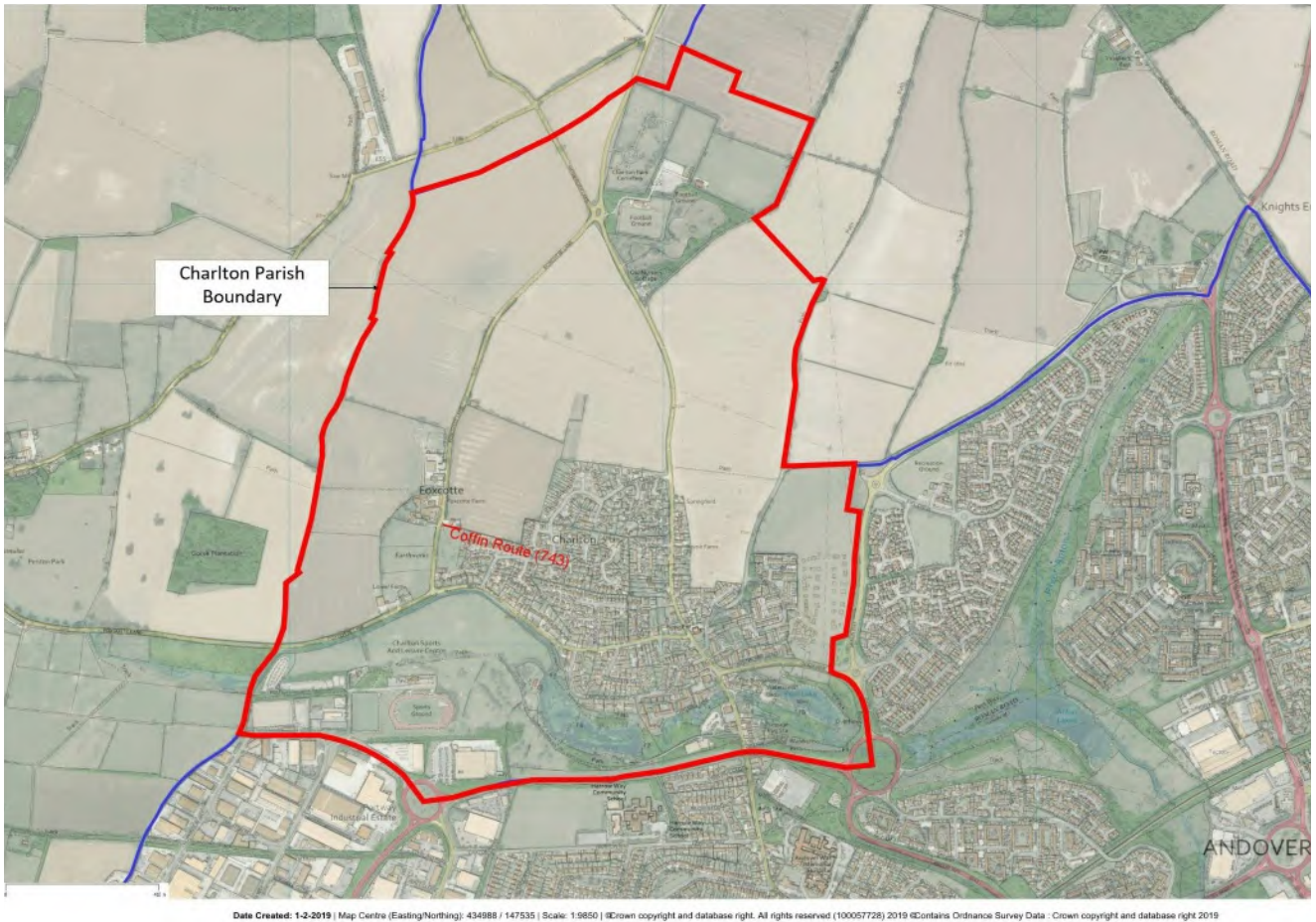
interest. The appraisal is the starting point; any development proposals should fully consider the appraisal, having regard to national and local policies. Such proposals should be informed by an individual assessment commensurate with the scale of the project proposed.

The information within the appraisal will comprise descriptive text supported by photographs, maps and other graphical material. It will also identify opportunities for future enhancement if considered necessary.

Purpose of the Study

The study has been produced for a number of reasons, but most importantly to inform the preparation of the emerging Neighbourhood Plan

Identification of important issues will help shape the content and direction of that plan. In addition to the above, it could also be used as a development management tool to secure better quality development appropriate to its surroundings. Such a



document can be used by residents and developers when preparing a planning application, or for anyone wishing to comment on a current planning application.

The Localism Act 2011 introduces the right for communities to shape their local areas by creating their own Neighbourhood Development Plan (NDP).

The following appraisal was prepared in accordance with The RTP1 document entitled *"How to prepare a character assessment to support design policy within a neighbourhood plan - Putting the pieces together"*

The character assessment was then conducted using the character assessment toolkit and pro forma, produced by Oxford City Council in partnership with English Heritage.

Volunteers from the Steering Group undertook the survey work which included:

Recording in detail:

- Buildings, views, use, spaces, greenery and landscape etc as set out in more detail in the character appraisal section

Noting all visual features of the streetscapes and spirit of the place. All of the above will be recorded using the above pro-forma and large scale mapping.

Noting historical and cultural influences, by referring to historical maps, photographs, local web-sites and books, archaeological records, archives and talking to residents.

Collating records and checking against up to date sources and on-site information.

Obtaining photographic evidence to support this appraisal.

Reporting and further consultation via a variety of methods to ensure the appraisal encompasses a true reflection of the Parish.

Publication of a final draft to identify the key features of the Parish character areas and the implications for informing the Neighbourhood Plan process.

History and Heritage

Charlton is a small village, which as can be seen from the development maps overleaf, was situated some distance from Andover. Whilst the built form of Charlton remained static as a linear form until the 1950s, Andover has grown considerably. The Portway Industrial Estate in particular has been the principle cause of coalescence between the two settlements.

During the 1960s, Charlton saw extensive residential development radiating out from the original north-south linear form. Development to the west has resulted in coalescence with the hamlet of Foxcote(e).

Foxcote was a separate settlement to the northwest of Charlton largely consisting of a chapel and farm buildings. The original chapel was demolished and rebuilt circa 1830, with the exception of the tower, which was retained as a mortuary chapel and subsequently converted into a dwelling.

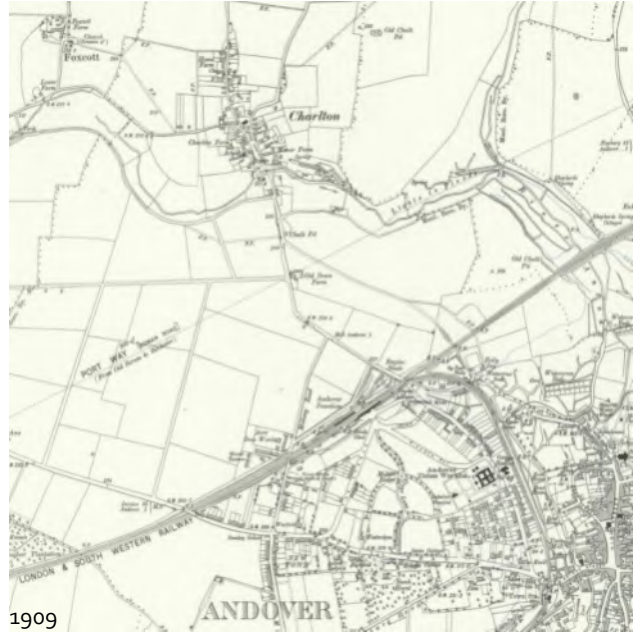
The remaining chapel material was re-used to build a church in neighbouring Charlton.



Evolution of the Settlements Over Time



1896



1909



1938

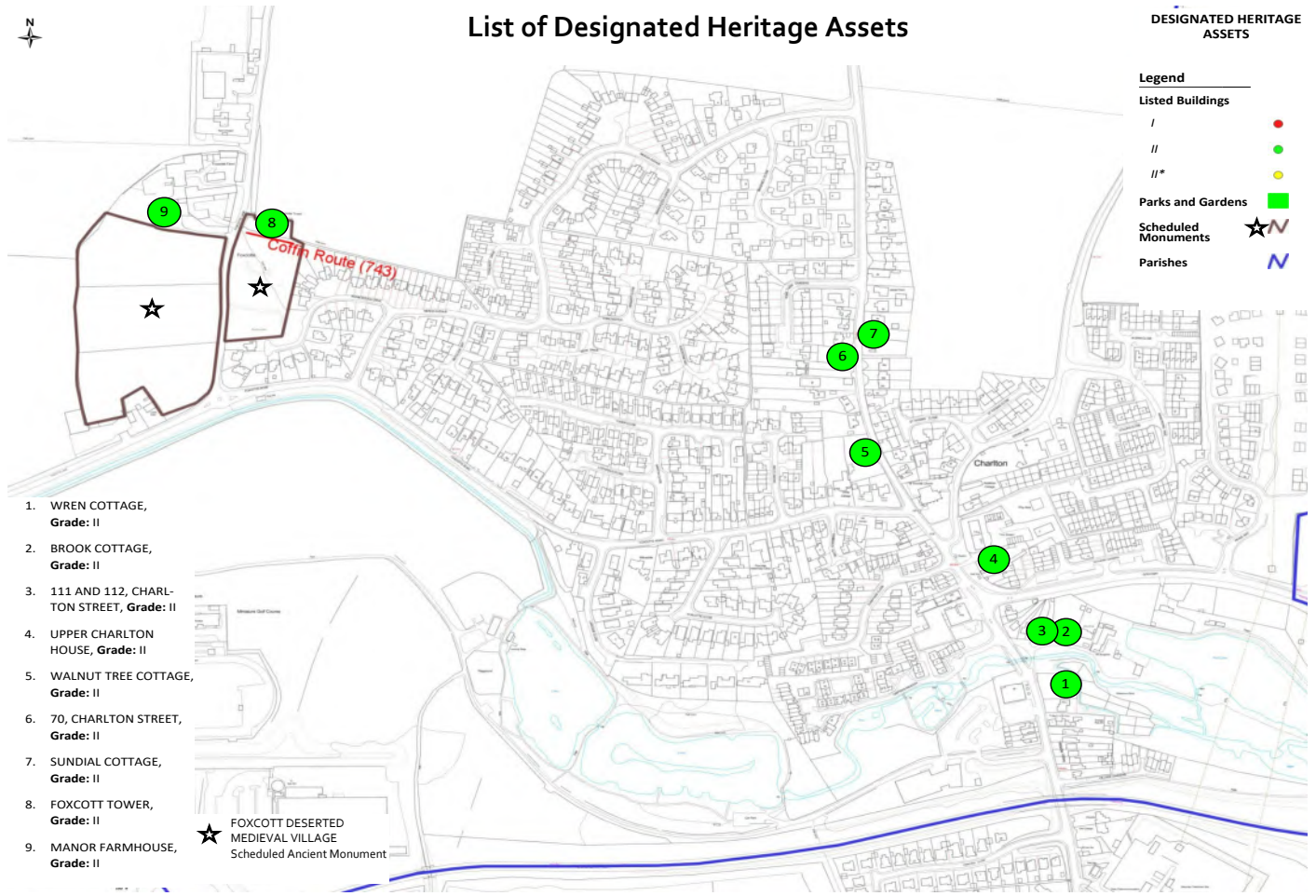


1958



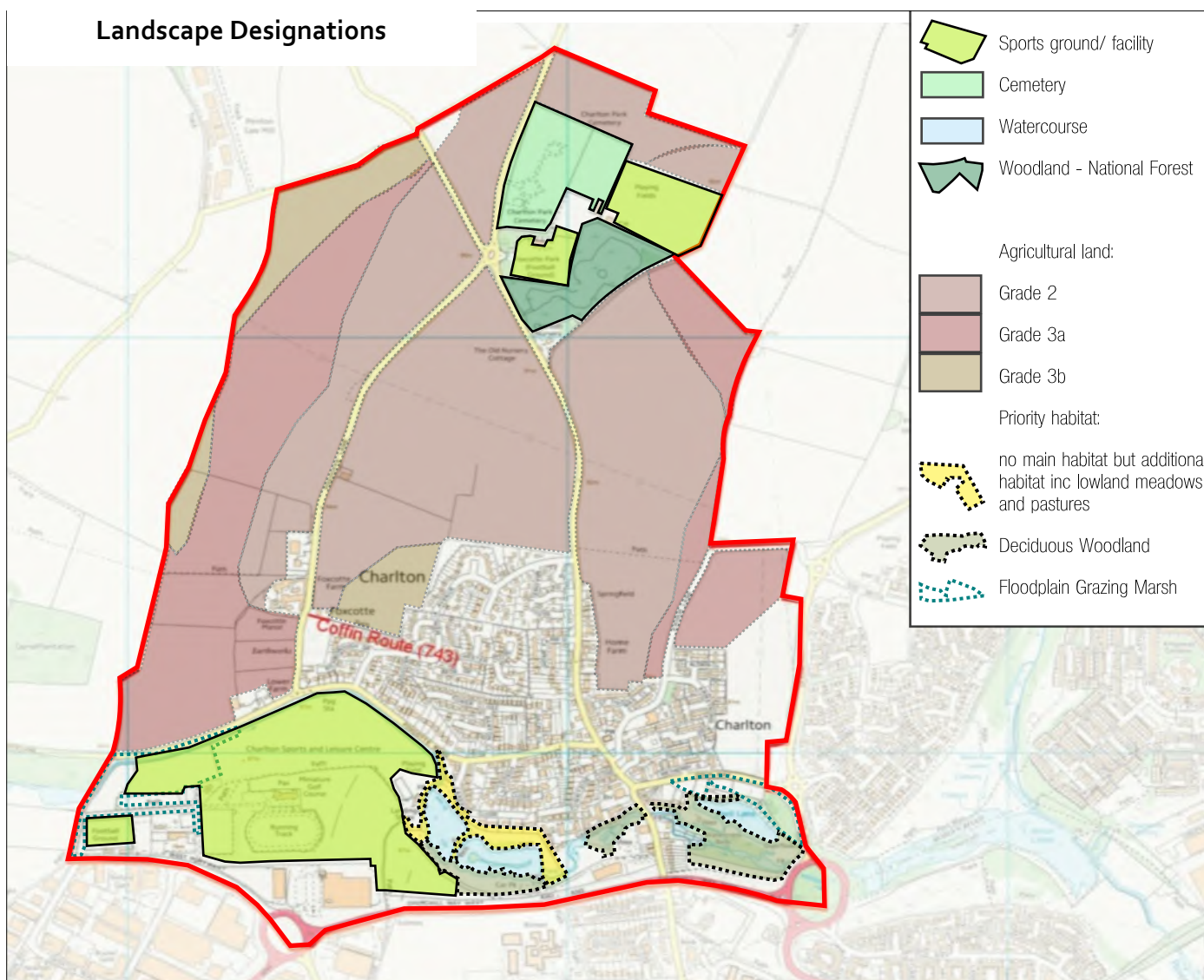
1976

List of Designated Heritage Assets



Date Created: 1-2-2019 | Map Centre (Easting/Northing): 434825 / 147090 | Scale: 1:3940 | ©Crown copyright and database right. All rights reserved (100057728) 2019 ©Contains Ordnance Survey Data : Crown copyright and database right 2019





The above plan highlights the characteristics of areas of undeveloped land in the parish.

For a parish of this size, it is unusual to benefit from such an extensive amount of sports grounds and facilities.

These largely relate to Charlton Lakes, sports pitches and the Charlton Sports and Leisure Centre owned by Test Valley Borough Council.

A further area of public open space is to be finalised as part of the Goch Way development.

The majority of land outside of the built up area is open farm land. The plan highlights that the most significant amount is grade 2, very good quality agricultural land, which is some of the best and most versatile agricultural land.

The nature of the field patterns as shown on the aerial photograph enable long distance views from public

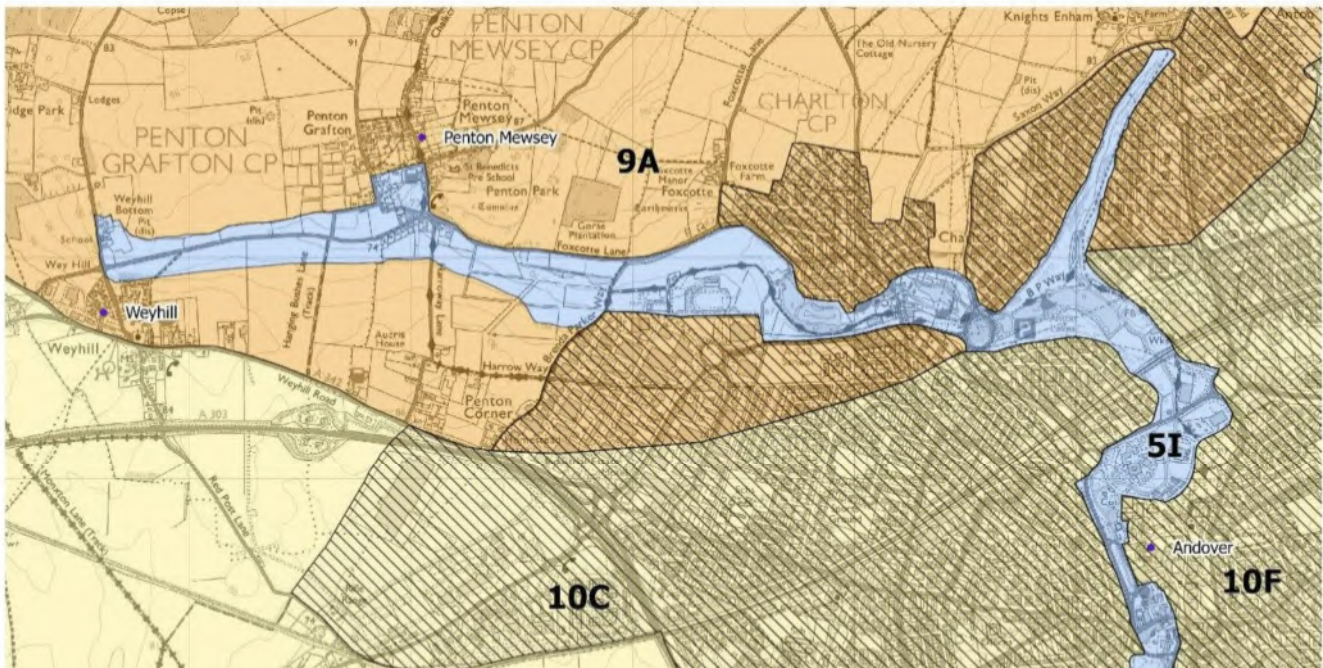
vantage points including the number of Public Rights of Way in and around the parish as shown above.

To the south of the parish are a number of priority habitat designations including Floodplain Grazing Marsh, following the River Anton and around Charlton Lakes. The latter along with the adjacent

Anton Lake having been formed from landfill and gravel extraction.



Landscape Character Assessment



The Test Valley Landscape Character Assessment (TVLCA) was updated in 2018, based on work previous undertaken in 2004.

It includes a detailed analysis of the Parish based on the Landscape Character Types (LCTs) as set out by Natural England. These are subdivided into Landscape Character Areas (LCAs), with the relevant local LCAs shown on the map above.

There are two distinct LCAs within the Parish, namely The Upper River Anton Valley Floor (LCA 5I) and the North Andover Plateau (LCA 9A)

The TVLCA describes the area as:

"The Upper River Anton Valley Floor is a narrow river valley that is typical of the source reaches of a lowland river, with frequent springs. The River Anton within this LCA is made up of two tributaries, which converge on the northern edge of Andover, before joining and flowing as one defined river. One of the two tributaries begin its life in a gentle 'v' shaped valley, flowing along field margins, before entering the broader flood plain of Andover, where it then flows through a number of manmade lakes. The other tributary (known as the source of the river) flows as a single river course through an area of scrub before joining the first tributary south of Charlton."

It then goes on to set out a number key factors which are essential to the understanding of the landscape character in this part of the Parish.

The following details from the TVLCA are of most relevance:

"Local Physical Influences

Geology and soils: Alluvium as the valley passes through Andover, with Gravels further upstream.

Landform: A shallow valley.

Drainage: A small meandering watercourse with a number of lakes on former gravel pits to the north of the town

Local Biodiversity and Vegetation Pattern

Large areas of the valley floor within the LCA that are not under residential, commercial or infrastructure development are devoted to more formal recreational uses associated with larger ponds and lakes, such as at Charlton Lakes

Settlement Pattern

Charlton and Andover extend into this Landscape Character Area. However, settlement expansion onto the valley floor appears to have been limited.

No farmsteads are located within this character area

*Charlton: Chalk Down Land: Hill Top Settlement Type***Key Valued Characteristics**

- *Mixed riparian habitats including a number of lakes, small woodlands and unimproved pasture*
- *Significant survival of valley floor enclosures, water meadows and watercress beds.*
- *Abandoned watercress beds that have become vegetated and now support a varied range of flora and fauna*
- *River crossing point in Charlton retains village landscape character with line of thatched cottages overlooking open setting leading down to the river*
- *Traditional building styles including brick or cob walls with thatch and clay tiled roofs as seen adjacent to the river within Charlton*
- *Footpath links out of Andover to surrounding countryside to the north*
- *Provision of recreation activities including fishing*

Key Detractors

- *Development pressures from Andover through settlement infill, and further development of transport and other infrastructure*
- *Visibility of overhead pylons*

Local Natural and Cultural Landscape Issues

- *Development pressures from Andover through settlement infill, and further development of transport corridor and other infrastructure causing the draining of wetland areas, degradation of river banks and the natural channel profile resulting in the erosion of the River Anton natural chalk stream landscape character*
- *Pollution of the river and its tributaries through fertiliser and road run off*
- *Intrusion from fly tipping*
- *Pressure for recreation facilities*

- *Retaining undeveloped gap between western edge of Andover and Penton Mewsey including the setting of Penton Park*
- *Loss of pasture to arable use, loss of marshland to improved pasture*
- *The area is vulnerable to the impact of land uses on the surrounding valley slopes of adjacent LCA (character areas)*
- *Western end, future potential demand for mineral extraction of sharp sand and gravel*

Landscape Strategy and Guidelines

The Upper River Anton Valley Floor is important, not only for its wetland habitats including a water meadow, but also for its function as a linear green space through Andover. The overall strategy is therefore to enhance the river character and seek opportunities to create new riverside landscapes within the Upper River Anton Valley Floor and to protect and enhance the key valued characteristics.

Landscape Strategy and Guidelines**Landscape Distinctiveness**

- *Enhance and restore the landscape setting of the valley floodplain*
- *Retain and improve links from adjacent areas of Andover to the existing river valley*
- *Seek where possible to restore levels of tranquillity and reduce over dominance of highway infrastructure*
- *Reinforce existing local features and enhance sense of place of river crossings*
- *Encourage 'riverside character planting' to enhance river character and the context of the River Anton*

Built Development

- *Maintain and further enhance the network of open spaces adjacent to the River Anton*

- *Enhance the adjacent urban edge, to these open areas and the river*
- *New adjacent development should also respond to local contours and with planting which creates an attractive soft edge with framed views of any new development"*

The TVLCA sets out additional details for LCA 9A the North Andover Plateau.

This is a much larger area than the Upper River Anton Valley Floor stretching from Andover to the edge of the AONB, Hatherden and Enham Alamein to the north.

The TVLCA describes the area as:

"The North Andover Plateau is a gentle sloping plateau falling from around 125m AOD in the north to around 80m AOD in the south on the edge of Andover. Across the plateau a series of dry gravel river valleys run in a predominantly southerly direction linking to the River Anton, which eventually flows into the River Test south of Andover.

The dry valleys and gentle ridges have created a complex land use and farming pattern, with predominantly larger arable fields found on the areas of higher ground...The larger arable fields lack hedgerows, but groupings of these fields are often enclosed by shelter belts, creating large uncomplicated open areas.

The associated parklands bring further diversity to the land surrounding these settlements. The edge of Andover is strongly defined by fields meeting areas of built development. The open aspect of development to the countryside could have a visual impact and urbanise the immediate landscape quality."

It then goes on to set out a number key factors which are essential to the understanding of the landscape character in this part of the Parish.

The following details from the TVLCA are of most relevance:

"Local Physical Influences

Geology and soils: *The plateau is made up of Chalk and deposits of clay with flints, with dry river valleys within Gravel on the valley floor.*

Landform: *South facing slopes with shallow dry valleys*

Drainage: *Area drains into the River Anton*

Local Biodiversity and Vegetation Pattern

- *This landscape is predominantly arable farming*

Historic

- *Penton Mewsey Conservation Area*
- *Scheduled Monuments*
- *Foxcott deserted medieval village*
- *Listed buildings*
- *Registered Parks and Gardens*

Remoteness and Tranquillity

To the north of this area, where the influence of Andover is less pronounced, there are some remoter areas which will have a good level of tranquillity

Key Valued Characteristics

Complex plateau landscape with dry river gravel valleys and gentle ridges

- *Contrasting open areas of arable farmland with shelter belts on higher ground*
- *Important countryside gaps between Andover and other settlements*
- *Mixed historic landscape displaying good survival of early post-medieval field systems along the southern border of this character area*
- *Significant influence from the country houses and associated parklands and woodlands present within this character area*
- *Local buildings are typically brick and flint with clay tile roofs*
- *Extensive views from the network of public rights of way and lanes running through the area including to undeveloped skylines of ridges and wooded horizons*
- *Rural character of lanes criss-crossing the landscape linking the settlements and farmsteads*

Key Detractors

- *Lack of hedgerows in arable landscape*
- *Visual intrusion from pylons crossing the area*
- *Views to large-scale buildings within business parks on the edge of Andover to the south of A303 (within LCA 10C)*
- *Suburban boundary treatments in rural locations*
- *Lack of hedgerows in arable landscape*
- *Visual intrusion from pylons crossing the area*
- *Views to large-scale buildings within business parks on the edge of Andover to the south of A303 (within LCA 10C)*
- *Suburban boundary treatments in rural locations*
- *Potential solar and other renewable energy development eroding the rural character of the area*

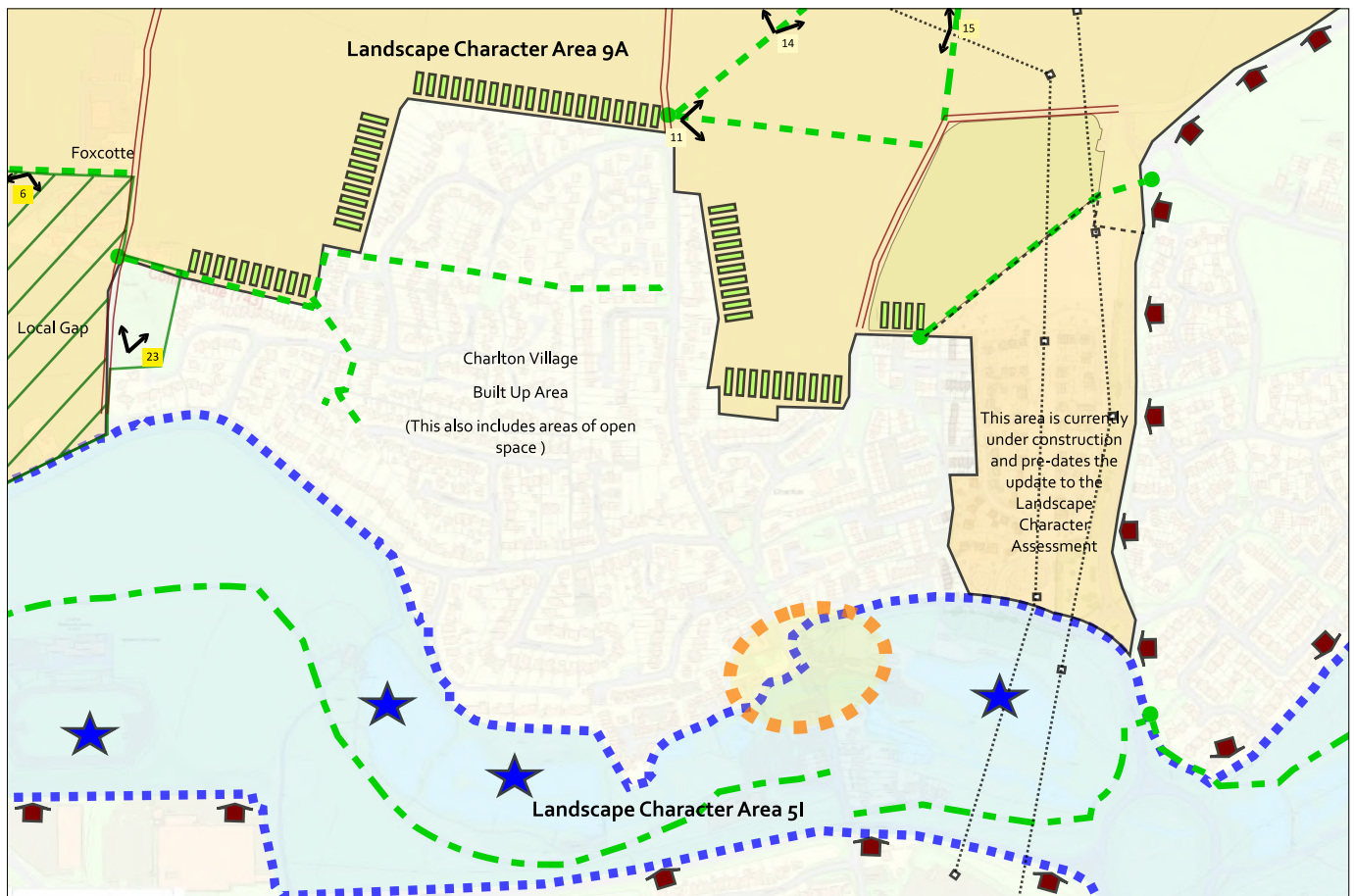
Landscape Strategy and Guidelines

The proximity of North Andover Plateau to Andover and the openness of the landscape make this character area particularly vulnerable to visual intrusion from any urban expansion or new urban fringe development. The overall strategy is to enhance the varied landscape structure and rural character of North Andover Plateau and seek opportunities to create a stronger edge treatment to the settlements through appropriate planting and protect and enhance the key valued characteristics.

- *Protect the distinctive form and character of separate settlements*
- *Maintain the existing complexity and variety of the landscape*
- *Maintain existing levels of tranquillity and minimise the impact of development on the quiet enjoyment of this area*
- *Discourage further amalgamation of fields and loss of hedgerows and encourage replanting of hedgerows and hedgerow trees*
- *Maintain the close relationship between the settlement pattern, late medieval/early post-medieval landscape and adjacent parkland*

- *Reinforce the edge of Andover through careful design and appropriate landscape planting*
- *Avoid deterioration in the settlement fringe landscape arising from poor design and intrusive development*
- *Improve management of the landscape around settlements*
- *Seek improved management and maintenance of farmsteads and farms in the fringe areas*
- *Opportunities to be sought to restore local landscape features and create a stronger landscape structure within the settlement edge of Andover*
- *Avoid the coalescence and loss of separate identity of Andover and nearby settlements which are in places separated by a narrow gap of fields*
- *Proposals for solar development should consider the impacts on the valued predominantly rural character, sense of remoteness and tranquillity. Potential cumulative effects with existing solar farms in adjacent LCAs should also be considered*
- *Consider possibility of introducing recreational focal points"*

These points have been transposed onto the landscape character plan overleaf.



The key issues for consideration in the Neighbourhood Plan:

- Development pressure from Andover
- Protect the distinctive form and character of separate settlements. In particular, retaining the undeveloped gap between the parish and Penton Mewsey
- Retain and improve links from adjacent built up areas to the existing river valley
- Where possible, restore levels of tranquillity and reduce dominance of highway infrastructure - where the A343 adjoins Charlton Lakes.
- Reinforce existing local features and enhance sense of place of river crossing in the centre of the village.
- Maintain and further enhance the network of open spaces in the parish including Charlton Lakes and encourage 'riverside character planting'
- Reinforce the edge of the built up area through appropriate landscape planting and avoid deterioration in the settlement fringe arising from poor design and intrusive development
- Development pressure from recreation.

Key

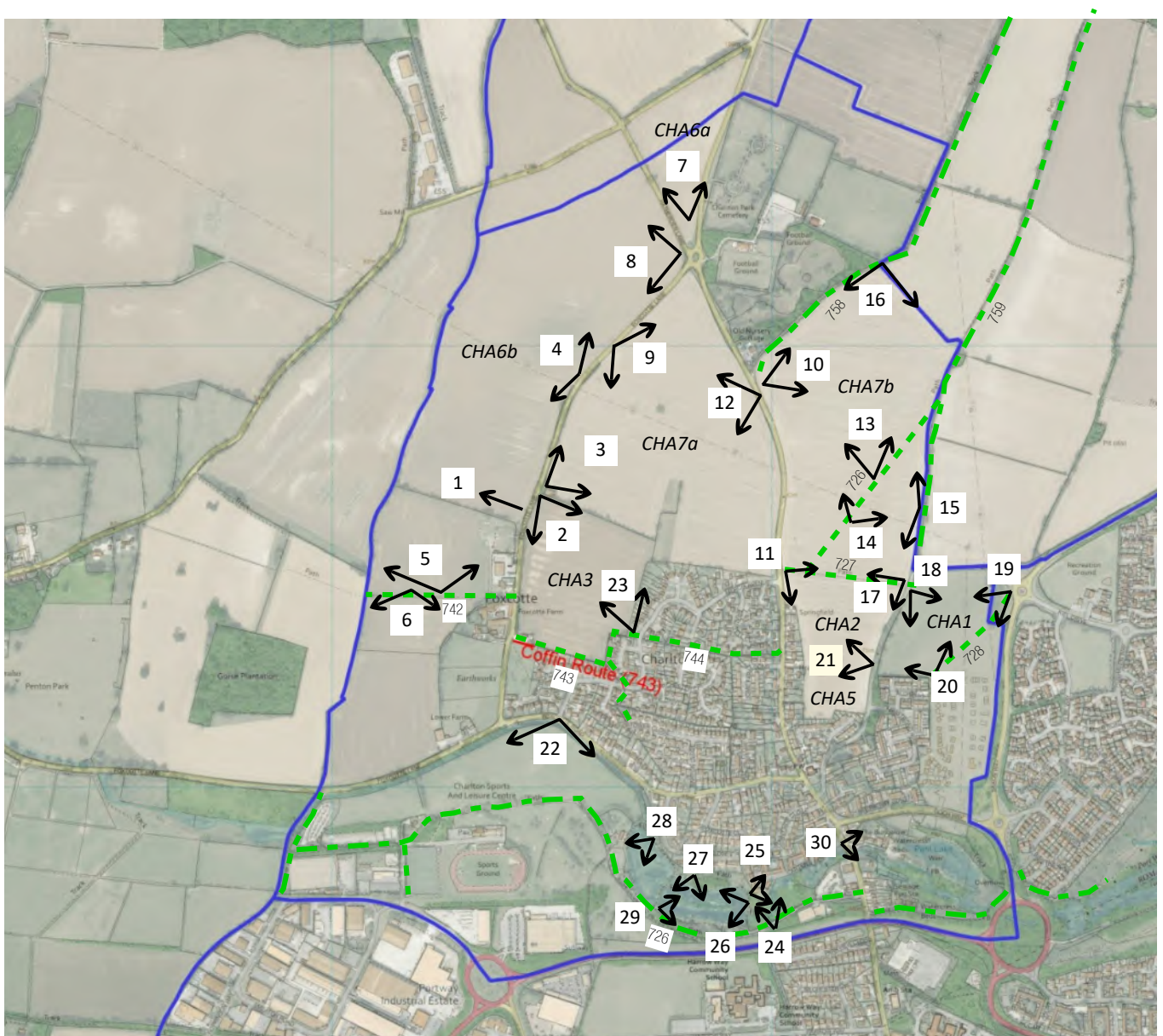
- The North Andover Plateau Character Area 9A
- The Upper River Anton Valley Floor Character Area 51
- Development pressures from Andover inc transport and other infrastructure
- Footpath links out of Andover to surrounding countryside to the north. Retain and improve links from adjacent areas of Andover to the existing river valley
- River crossing point in Charlton retains village landscape character with line of thatched cottages overlooking open setting leading down to the river. Reinforce existing local features and enhance sense of place of river crossings
- Pressure for recreation facilities
- Visibility of overhead pylons
- Retaining undeveloped gap between western edge of Andover and Penton Mewsey including the setting of Penton Park
- Encourage 'riverside character planting' to enhance river character. Maintain and further enhance the network of open spaces adjacent to the River Anton
- Enhance the adjacent urban edge, open areas and the river
- Extensive views from the network of public rights of way and lanes
- Rural character of lanes

Viewpoint Analysis

The separate viewpoint assessment sets out views that have been determined to be significant within the parish.

A summary of the findings has been set out below and overlaid with views of the highest significance depicted in photos.

VIEWPOINT LOCATIONS



Viewpoint Analysis

Each viewpoint has been assessed by the residents as to whether it provides amenity value. This can be recreational, historical or landscape character.

A sliding scale has been produced and set out below:

- Neutral value (o)
- slight value (+)
- Moderate value (++)
- Significant value (+++)

Views have been graded accordingly. It can be clearly seen that the views along the western edge of the parish are largely considered to be of moderate to significant value. This corresponds with the fact that they largely consist of open, long distant, wide ranging views and fall within the Local Gap or its setting.

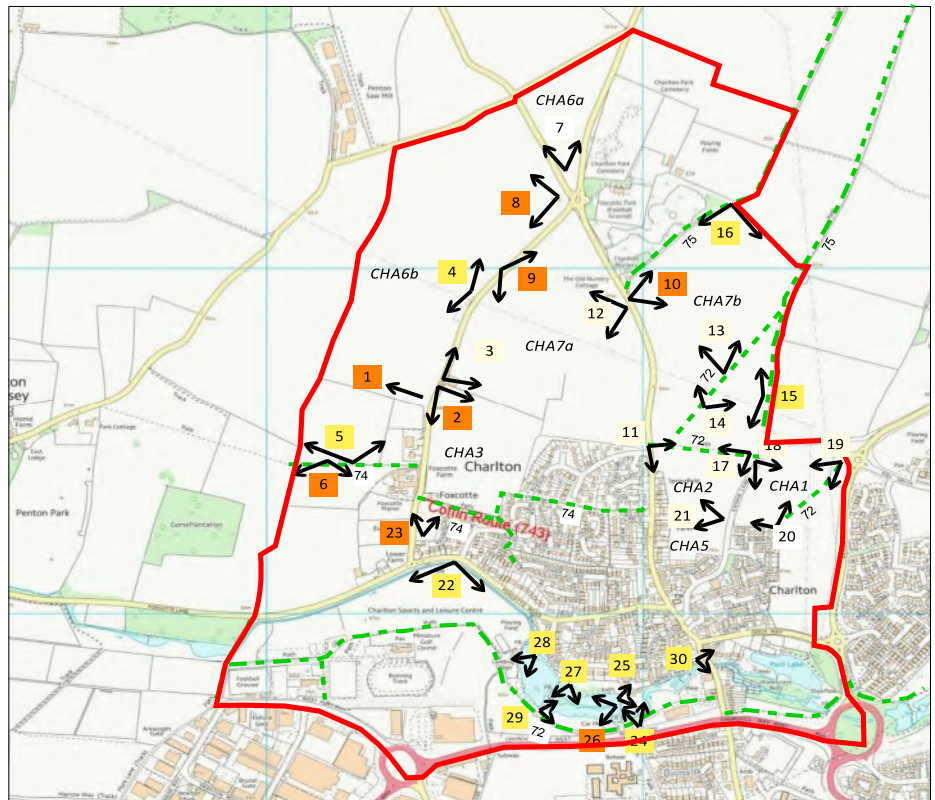
Further long distance views to the north east of the settlement are also considered to be moderate to significant in landscape character terms.

Views of the designated heritage assets around Foxcotte are also considered to be of significant value.

Charlton Lakes are considered to provide largely moderate value in both recreational and landscape character terms.

Views alongside the edge of the village have either not been identified as important or of slight to neutral value.

VIEWPOINT ANALYSIS



1. Long distance views along Foxcotte Lane looking west into CHA6/ SHLAA 149 toward Penton Mewsey Parish



10. Long distance views Hatherden Road/ Footpath 758 looking north/ northeast into CHA7b/ SHLAA 155



9. Panorama highlighting extensive long distance views from Foxcotte Lane southeast into CHA7a/ SHLAA 155



27. Looking east from the lakeside path across Charlton Lakes (fishing)



28. Looking southwest from the lakeside path across Charlton Lakes (recreation)



29. Looking northwest from the lakeside path across Charlton Lakes (fishing)



30. Looking east across the Green with Charlie's (Peril) Lake beyond



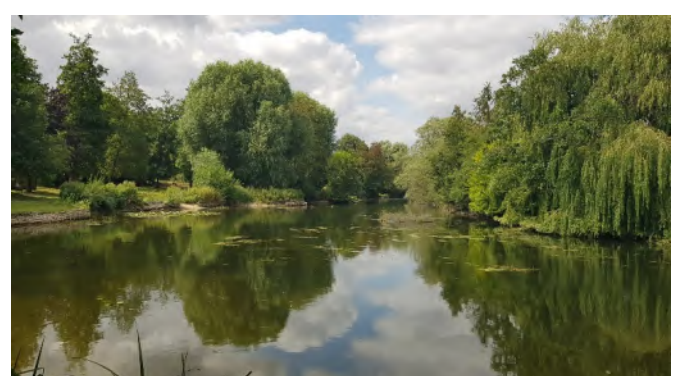
23. Looking north from the informal path between Foxcotte Lane and Richborough Drive with the listed Foxcotte Tower visible to the right



24. Looking north from footpath 726 to the footbridge and informal lakeside path with housing at Carters Meadow visible in the centre

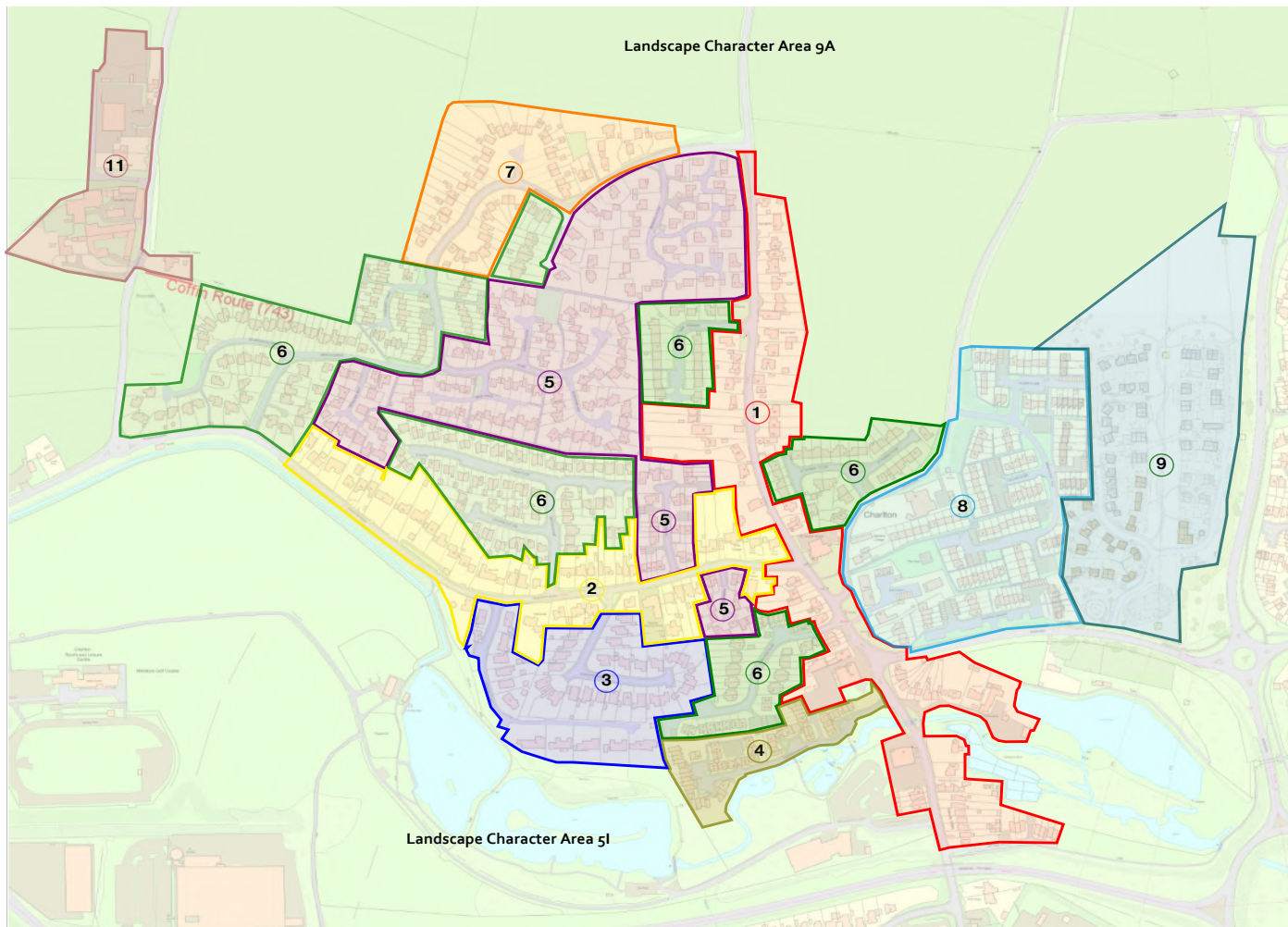


25. Looking north along informal lakeside path with housing at Carters Meadow visible to the left



26. Looking north from the lakeside footbridge across Charlton Lakes (fishing)

Settlement Character Areas



The existing built up area of Charlton has above been analysed by local residents.

Each area has been looked at in detail and where there are common attributes, these areas have have been unified by their common themes and features.

The following pages set out the analysis of each of the character areas, with a summary of their key qualities and characteristics.

Any issues have been identified, particularly where they can be addressed by a relevant Neighbourhood Plan policy.



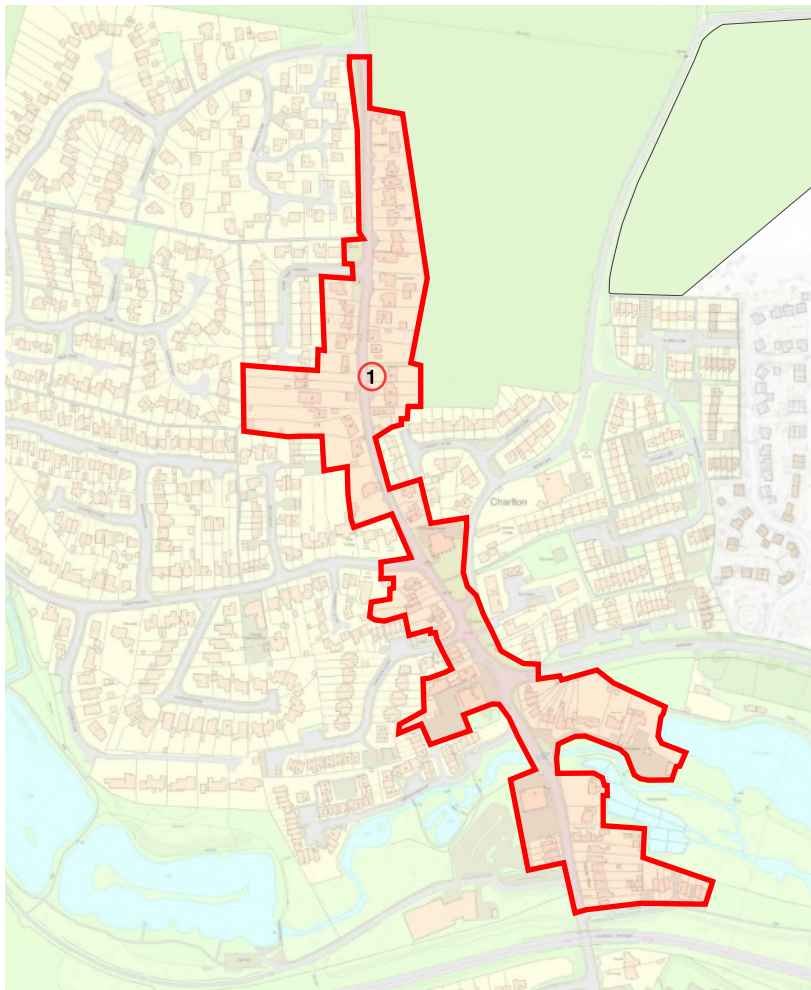
Character Area 1: Hatherden Road

General overview of character

The built up area of Hatherden Road is the main historic road that runs through Charlton Village. It is predominantly a residential area with shops and community facilities in the centre in addition to St. Thomas' Church.

The area conveniently located to open countryside as well as Andover town centre, train station and main road routes. The residential area is centred around one area and has a mixture of different property types and styles which are well spaced apart.

Traffic through Hatherden Road, including use by large vehicles, and speeding is an issue for the local residents.



Layout

Development closely follows the road layout, with more in-depth development occurring from later infill.

Historic properties are generally set in good sized plots, although many have now been subdivided for infill.

Topography

The landscape is undulating and the road gently rises as it goes from the village centre towards the sports centre. The farmland on the right-hand side as you leave the village and head towards the sports centre slopes upwards and away such that Hatherden Road is in a very small dip in some points. Although most of the buildings are at a similar level on both sides of the road there is an area where the houses are elevated with drives sloping down to the main road.

The properties on the right-hand side of Hatherden Road, as you head out of Charlton Village towards Hatherden, back onto farmland and are not overlooked by other properties.

Roads, streets, routes

From Hatherden Road there is road and footpath access to modern housing development to the east and west.

When leaving Charlton Village, towards Hatherden, the speed limit changes from 30 MPH to the national speed limit. This is a problem when entering Charlton Village from Hatherden and the sports centre as many drivers do not reduce their speed from national limits to 30 MPH.

Hatherden Road is used as a rat-run for traffic, including large lorries, to avoid Andover.

There are no pavements or street lighting in the national speed limit area. Although there are grass verges between the farmland and the road these are not practical for walking use.

Towards Andover, the elevated A343 road bridge both marks the edge of the parish and detracts from the green buffer planting.

Green and natural features

Original location of village green/ important focal and historic river crossing.

Numerous mature trees and boundary planting.

In-depth grass verges and green spaces stretching from the roundabout with Goch Way and Hatherden Road to the church.

Buildings and details

There is a public house, the Royal Oak, and a small convenience store located at the start of Hatherden Road. There is also an Edwardian church, St Thomas Church, which also has a small rooms and kitchen area attached and serves as a small community centre.

There is a mix of different types of residential properties of different styles, size and age, including:



- Victorian/ Edwardian red brick villas and cottages
- thatched cottages, including the Old Post Office, interspersed with the other residential buildings
- Detached and semi-detached family houses
- Later infill including bungalows

Buildings are usually set behind boundary walls and hedges with limited intrusive close board fencing, unless softened by planting.

There have been alterations to some properties over the years which are largely keeping with the surrounding properties.

The majority of properties have off road and/or garages and so there are seldom cars parked on the road.

Streetscape features

Pavements are very limited and predominantly on one side of the road only. This also means street lighting is limited but is not an issue. There are no pavements or street lighting in the national speed limit area.

The majority of properties are served by overhead telephone and electricity cables.

Land use

This is predominantly a residential area with shops and services.

To the south the road crosses between Charlton and Charlie's Lakes.



KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Historic Core of the village.

Mix of small scale cottages, Victorian Villas with modern infill.

Plot sizes are more generous

Dwellings sited on plot boundary or set back with in depth front gardens

Building heights generally 2 storey with historic 2.5 storey focal dwellings

Materials:

- Flint walls with red brick bands
- Brick quoins
- High brick plinths
- First floor brick bands
- Brickwork in English and Flemish bonds
- Hipped, tiled and slate roofs

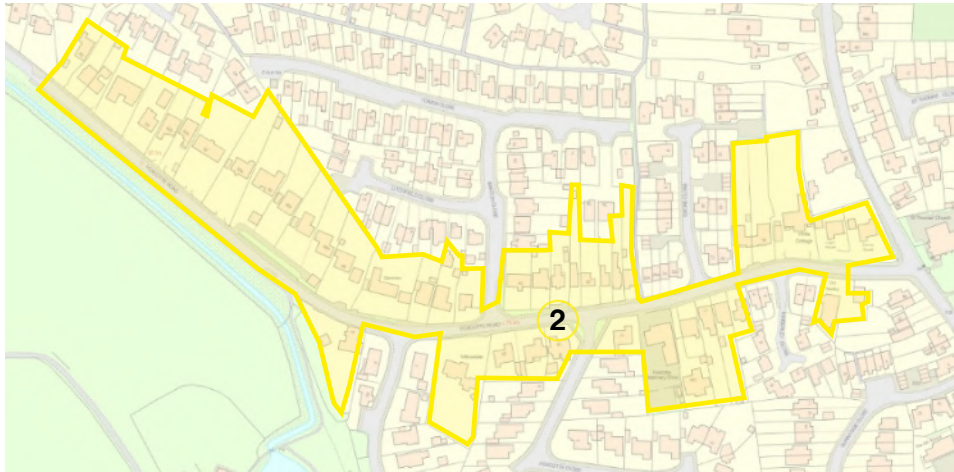
Boundary walls and hedgerows

Key issues:

Improve setting of listed buildings, river crossing and former village green

Support removal of inappropriate development/ materials

Character Area 2: Foxcotte Road



General overview of character

Foxcotte Road runs West to East to link the villages of Penton Mewsey and Charlton. To the west, a small mini roundabout marks the point where Foxcotte Road meets Foxcotte Lane and leads northwards to Foxcotte itself.



Houses to the north of the road are set well back into their plots and defined by garden boundaries.

To the south of the road, the buildings are much closer to the highway, with less separation and containment.

The majority of buildings are detached, with small gaps between, these however give glimpsed views to other dwellings beyond.



To the east it runs in the direction of Hatherden Road giving a direct view of the church at its junction. As one of the original routes through the village, it contains a diverse mix of buildings.

There are pavements on both sides of the road, with street lights throughout until the roundabout at Foxcotte Lane.



Layout and Spaces

This is one of the main roads in Charlton and therefore a large proportion of village traffic travels along this route. Although it should be noted that the road width is not particularly suited to the level of traffic generated.

Topography

Between Foxcotte roundabout and Lakeside Close, there is a fairly constant gradient. The land however rises at this point going eastwards and then falls towards Hatherden Road.

It should be noted that particularly to the west overlooking the leisure centre sports fields, the houses are considerably elevated.



Roads, streets, routes

Foxcotte Road is one of the main routes into Charlton, there are numerous modern residential roads leading onto it, as well as paths onto Charlton Lakes and Leisure Centre.

Green and natural features

The western end of Foxcotte Road is very open looking to Penton Mewsey. There are well established trees along the perimeter of the Road which are important to the streetscene. Most of the dwellings have shrubs and greenery.

Toward Hatherden Road, there are few street trees, with the majority of features located within gardens themselves.



Buildings and details

At the eastern end, the majority of buildings on the southern side date to the late 1950's/ early 1960's. These are largely bungalows with newer dwellings interspersed.

To the north, there is much more variety in age, with older Victorian and Edwardian properties closer to the village centre. The historic maps show a number of properties built between 1900 and 1930.

The older properties have large plot sizes. Although in some instances, it appears that smaller dwellings have been infilled into these spaces over time. However it still does not feel cramped or dominated by buildings. The



diversity of building types and ages has led to a variety of materials and features with no one type predominating.

Streetscape features

There are traffic calming measures located on this section on the road, with chicanes forcing motorists to give way.

There are ample pavements mainly on both sides of the road. Properties are largely connected by overhead electricity and telephone cables.

There is an off road parking area by the leisure centre sports fields made with grasscrete.

Land use

The road is used predominantly residential with the exception of the veterinary practice and other business operating from home.

KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Mix of largely detached properties including Victorian Villas with modern infill.

Plot sizes are more generous

Dwellings set back with in depth front gardens - many steeply elevated above the road

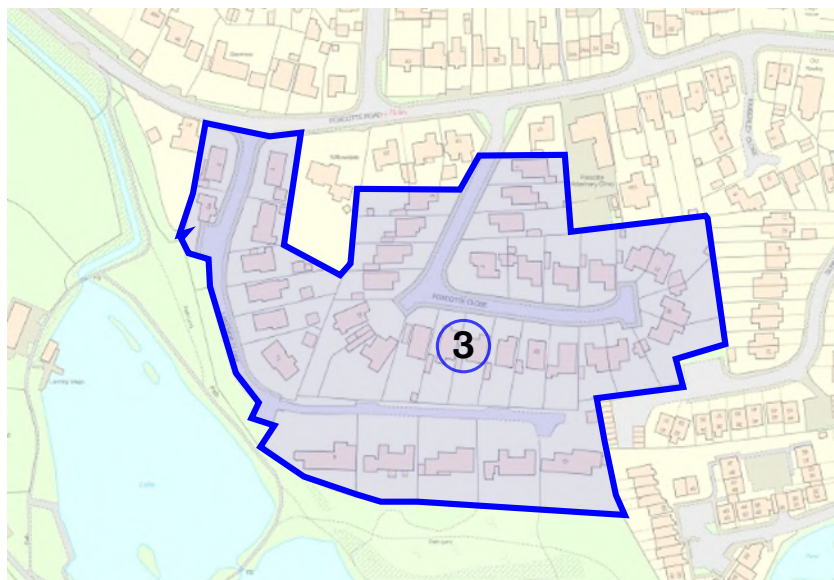
Building heights 1-2 storey

Materials:

- Brick with contrasting quoins
- Render
- Hipped and Gabled tiled and slate roofs

Low boundary walls and planting

Character Area 3: Foxcotte Close, Lakeside Close



General overview of character

Foxcotte Close and Lakeside Close both lead off the southern side of Foxcotte Road. Foxcotte Close was built first in the late 1950s/ early 1960s, with Lakeside Close constructed approximately a decade later.

Layout and Spaces

The layout is typical of its time, with predominantly detached bungalows situated in reasonable sized plots. Each has its own front garden and driveway parking, enclosed by low garden walls.

Gaps between dwellings allow for driveway access to rear garages.



Topography

Both roads slope gently down towards the lakes.

Roads, streets, routes

The roads are a culs-de-sac and therefore no-through roads. There is only one access point at the each initial junction.



Green and natural features

The depth of the front gardens allow for a mix of garden vegetation which soften the urban landscape. There are no specific street trees in Foxcotte Close, although Lakeside Close benefits from running alongside Charlton Lakes, with a number of trees bordering the southern edge.

Lakeside Close also benefits from a large grass verge overlooking the Lakes. There is no public access from here with a chainlink fence separating the two.

Buildings and details

The majority of the buildings in these culs-de-sac are bungalows with standard London Brick in heather or buff and concrete tiled roofs. Lakeside Close also benefits from cladding to the gables and small areas of render.

Streetscape features

In Foxcotte Close there are wide pavements on both sides of the road with limited street lighting. The majority of properties are served by overhead telephone and electricity cables.

The use of low front garden walls and planting gives a verdant feel, particularly in Lakeside Close. Although

there has been some introduction of panel fencing, which is a stark contrast.

Land use

The areas is residential in nature.

KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Low density, detached, single storey modern residential area

Garden depths are shallow

Dwellings set back with in depth front gardens and off street parking

Building heights 1 storey

Materials:

- London Brick - Heather or Buff
- Limited Cladding
- Concrete tiles

Hipped roofs in Foxcotte Close with Gabled roofs in Lakeside Close

Low boundary walls and garden planting

Key issues:

Retain and enhance relationship with the Lakes. Development should be appropriate in this regard



Character Area 4: Carter's Meadow



General overview of character

This is a long winding private cul-de-sac which is entirely comprised of retirement homes, some warden based. There is a large open green space which is privately owned adjacent to the junction with Charlton Road. A watercourse runs alongside the close from Charlie's Lake into Charlton Lakes.

Layout, Spaces

Tightly knit layout forming three enclosed courtyards. Well landscaped and overlooking the lakes.

Housing adjacent to Charlton Lakes have small rear gardens, whereas the majority of properties share landscaped grounds

Topography

The road is fairly level in topography.

Roads, streets, routes

There is just one entrance to Carter's Meadow from Hatherden Road.

There is pavement only one side of the road with designated spaces for resident parking.





Green and natural features

There are a large number of trees on the green facing the buildings and these are well maintained. The buildings are interspersed with shrubs to soften their features

Within Carter's Meadow the view is peaceful with the landscaped grounds being well looked after. Most of the buildings have some view of either the green, the stream or onto Charlton Lakes.

Buildings and details

Buildings are terraced houses/flats and are secluded and



modern in design. There is space between the terraces to give an open feel.

Streetscape features

The buildings are contained by landscaping, which is the dominant feature

Land use

Residential use - predominantly retirement

KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Courtyards of terraced retirement homes and apartments

Plot sizes are small, but designed for manageability.

The dwellings are however set in more extensive landscaped grounds

Building heights 1.5-2 storey

Materials:

- Brick with contrasting red
- Gabled concrete tiled roofs

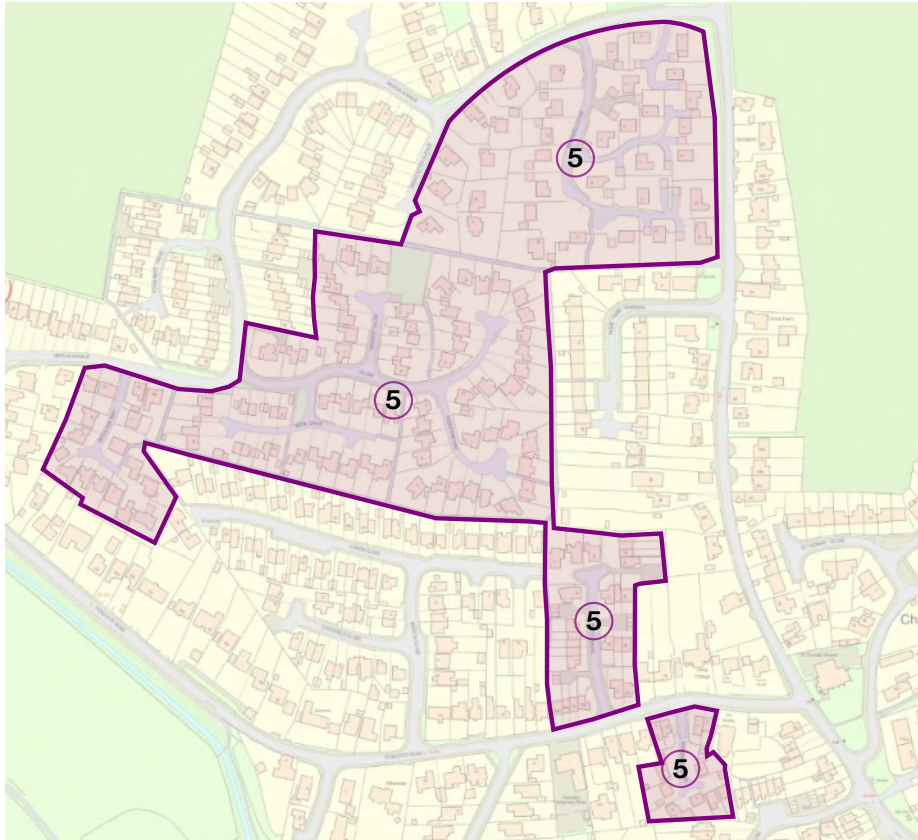
Boundary planting low in height to allow views out

Key issues:

Retain and enhance relationship with the landscape. Development should be appropriate in this regard

Character Area 5:

Kimberley Close, Dacre Close, Bede Drive, Hengst Close, Augustine Way, Porchester Close, Bradwell Close



General overview of character

These residential areas were constructed in the 1980s and 90s and largely consist of semi-detached and detached, two storey, red brick houses set in open landscaped gardens.

Layout, Spaces

Kimberley Close, Dacre Close are small cul-de-sacs in an elongated 'T' shape, with two storey dwellings and ample off-road parking, including driveways and garages. Bede Drive is a larger cul-de-sac than these, with dwellings being largely semi-detached on the right hand side and largely detached on the left, with the latter being of varying distances away from the main Drive. Bradwell



Close buildings are a mixture of two-storey and 1.5 storey homes.

Porchester Close has a wide pavement on both sides and dwellings are enclosed either by fences or by adequately sized front gardens.



Topography

The topography of Kimberley Close and Porchester Close is level. Dacre Close slopes upwards away from Foxcotte Road



Roads, streets, routes

Narrow, often single width or traffic calmed. Intentionally limited space for on street parking unless in parking bays.

Green and natural features

All dwellings in Dacre Close, Bede Drive and Porchester Close have green spaces to the front, with some boundaries being lined with hedgerows and trees.

Buildings and details

Each dwelling in Kimberley Close is two-storey, with a porch and small front garden being commonplace for most.

In Dacre Close there is a mixture of semi-detached and detached dwellings, all being two-storey. All dwelling have green spaces to the front.

The buildings in Porchester Close are largely detached two-storey homes enclosed by hedgerows and/or fences. They also benefit from both front and rear gardens, and private driveways and garages.

Streetscape features

In Kimberley Close, Dacre Close, Porchester Close there is limited street lighting but this is not an issue.

Land use

residential use.

KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Mainly detached family dwellings

Sited on winding culs de sac

Plot sizes vary, but are relatively small

Large front gardens with off street parking and garages

Building heights 2 storey

Materials:

- Render with contrasting brick
- Varied roof forms with concrete tiled roofs

Open garden frontages with formal garden planting

Key issues:

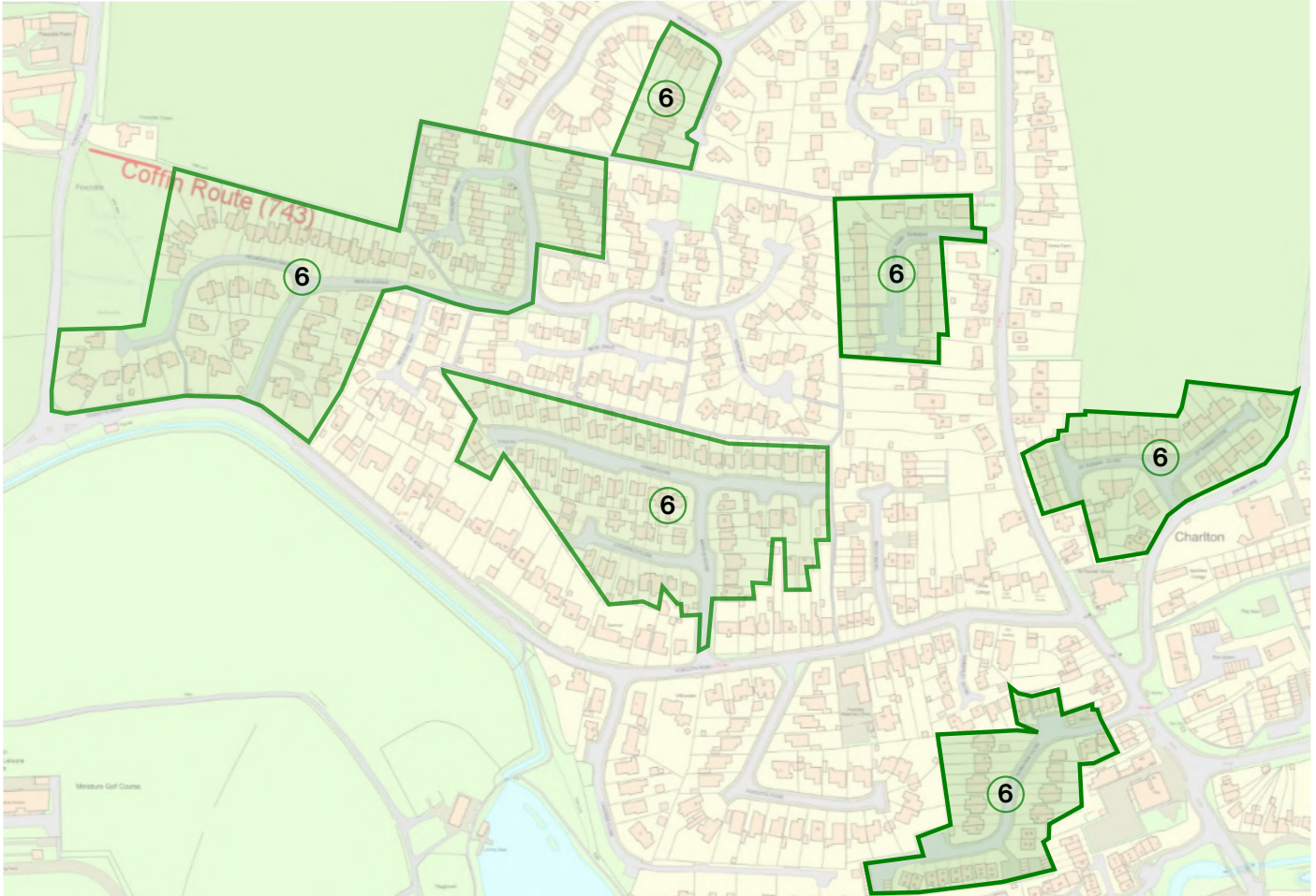
Retain sense of openness to the front of buildings and level of landscaping.

Extensive non-permeable surfacing should be avoided



Character Area 6:

Richborough Drive, Mercia Avenue(south), Brancaster Avenue, Litchfield Cl, Ethelbert Drive, Home Farm Gardens, Tower Close Barton Close, Lichfield Close, St Thomas Close, Sunnyside Close



General overview of character

A residential area dating from the 1960s to the 1980s with a mix of semi-detached and detached two storey dwellings set in smaller plots.

open plan plots with on-plot parking.



Layout, Spaces

Winding culs-de-sac with dwellings set in smaller plots and limited gaps between properties

The houses in this area face the road, being set back by varying distances with little formal planting to the front gardens.

Medium to high density

Topography

Gently sloping southwards with properties on Richborough Drive elevated on the northern side.

Home Farm Gardens gently slopes up from Hatherden

Road, levelling off to the west.

St Thomas Close is level in topography at its junction with the of the right hand fork rising at a fairly steep gradient., with the dwellings stepped up the hill

Roads, streets, routes

Winding road layouts in keeping with its time period. Open, sweeping streets, served by pavements and streetlighting.

Green and natural features

There are green spaces found alongside properties in and properties are set back deeply in their plots. Many have significant open lawns with shrub planting. Although many properties have removed open frontage planting in favour of surfaced parking areas.

There is one notable area of open space to the south of Richborough Drive, which adjoins the scheduled ancient monument of Foxcotte deserted village and leads to views of Foxcotte Tower.

Landmarks

There are no specific landmarks to mention.

Buildings and details

There is a mix of terraced and semi-detached two-storey dwellings.

A wide variety of brick colours with tile hanging or timber clad details to the upper floor frontage.



The majority of dwellings benefit from off-street parking. Some houses benefit from solar panels, which are dominant in the street scene.

Streetscape features

There is limited lighting and little street furniture.

Land use

The land use is residential.

Views

St. Thomas' Close is situated adjacent to open countryside and the dwellings located on the right hand fork benefit from countryside views.

From Richborough Close to Foxcotte deserted village and northwards to views of Foxcotte Tower.





KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Mainly semi-detached family dwellings

Sited on winding culs de sac

Plot sizes vary, but are relatively small

Deep front gardens with off street parking and majority of plots with garages

Building heights 2 storey

Materials:

- Render/ brick with contrasting concrete hanging tile
- concrete tiled roofs

Open garden frontages with limited formal garden planting

Key issues:

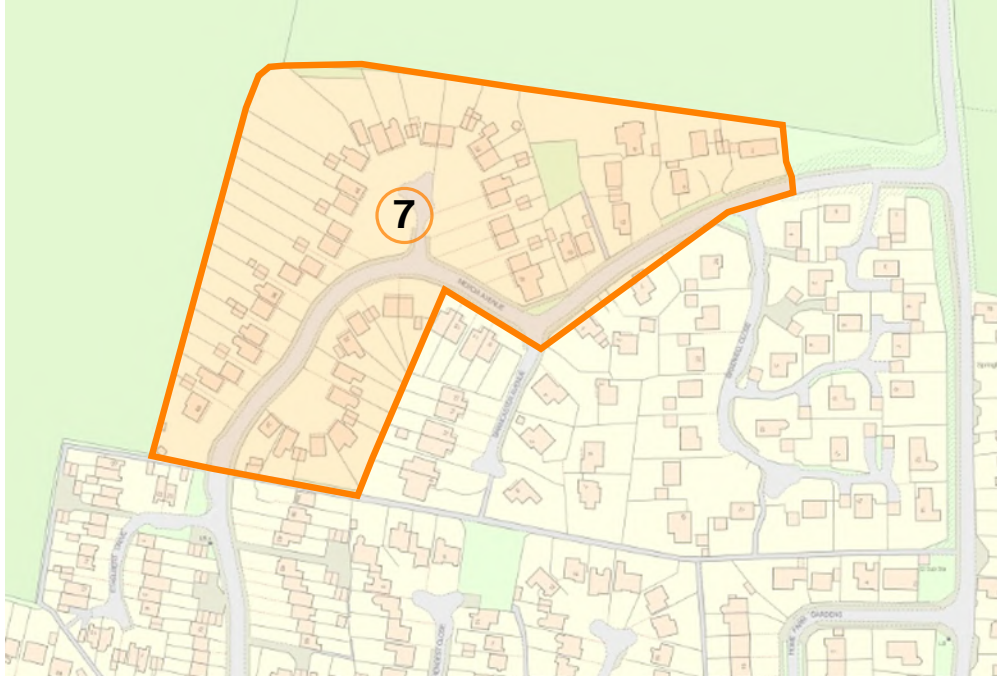
Retain sense of openness to the front of buildings and encourage further landscaping where possible.

Extensive non-permeable surfacing should be avoided

Further development within the setting of designated heritage assets should be accompanied by a heritage impact assessment in accordance with the NPPF.



Character Area 7: Mercia Avenue (north)



Residential areas built in the 1960s and 70s, primarily detached and semi-detached 1.5 storey chalet style dwellings in large open plan plots with on-plot parking.

Topography
Relatively level.

Layout, Spaces

Winding cul-de-sac with dwellings set in good sized plots and larger gaps between properties.

Garages are set back on plot behind each dwelling.

Low density.

Roads, streets, routes

The area benefits from a wide road width throughout, allowing for a bus route.

The road width to allow scars to park on the road and others to navigate past., Although on street parking is not prevalent.





Green and natural features

Mercia Avenue is characterised by open landscaped verges with tree and shrub planting

Buildings and details

The dwellings are of 1960s chalet style, with steep dormer windows. Tile hanging to the upper floors is prevalent.

Land use

residential use.

Views

Countryside views to the north and west.



KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Mainly semi-detached family dwellings distinctive chalet style

Sited on winding culs de sac

Plot sizes vary, but are relatively small

Deep front gardens with off street parking with garages

Building heights 1.5 storey

Materials:

- Render/ brick with contrasting concrete hanging tile
- concrete tiled roofs

Open garden frontages with key formal garden planting

Expansive grass verges

Key issues:

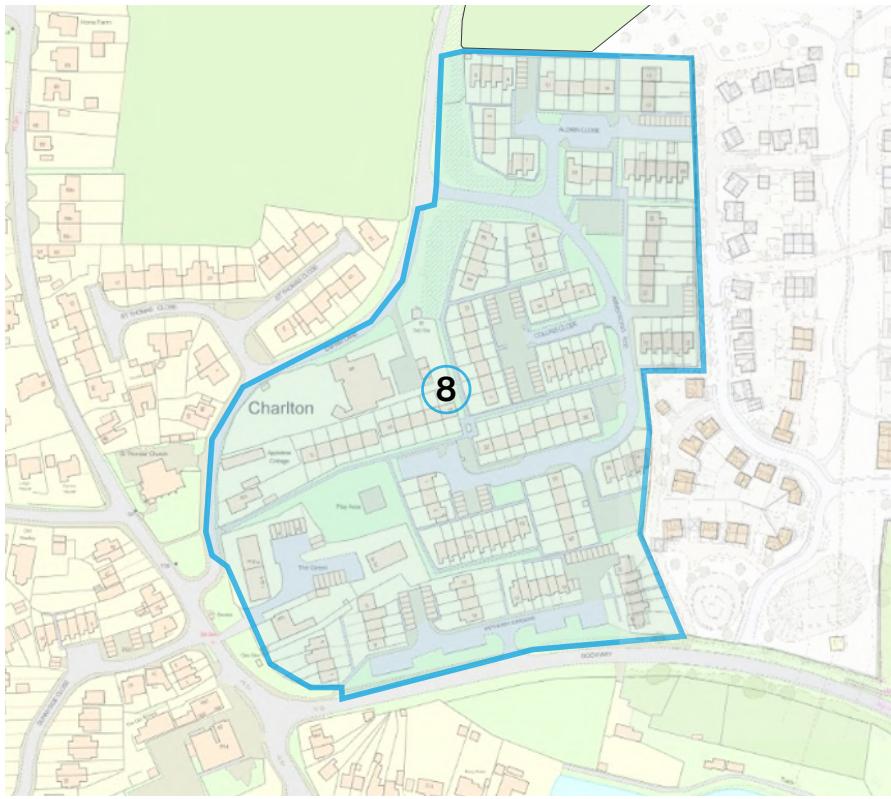
Retain sense of openness to the front of buildings

Extensive non-permeable surfacing should be avoided

Support new development and extensions where the distinctive character is retained.

Character Area 8:

Armstrong Rise, Aldrin Close, Collins Close, Wetherby Gardens



General overview of character

Residential areas built in the 1960s and 70s, primarily terraced dwellings with enclosed front gardens and parking in open courts.

Layout, Spaces

All roads are accessed via Armstrong Rise, which gently curves round in a large semi-circle. The area contains a number off-road parking areas. Further, after Collins Close, there is another rectangular parking area to hold approx. 6-7 cars.

The dwellings either front the roads or are access via footpath links

Wetherby Gardens runs almost parallel to the main road of Goch Way, with its buildings being largely perpendicular to this.

The Green takes the form of a small 'Y' shape, with this connecting the three blocks of flats.

High Density.

Topography

The entrance to Armstrong Rise off of Enham Lane is of steep gradient, and whilst the other named roads are relatively flat, Armstrong Rise slopes downwards at its end.

Wetherby Gardens is of relatively level topography.

Roads, streets, routes

There is only one entrance to the area, being off of Enham Lane. This road is Armstrong Rise, a wide road which serves as the main branch for the Aldrin Close and Collins Close. Upon entering the cul-de-sac, Aldrin Close is the first turning on the left. Continue to follow the road round and Collins Close is on the right.

Wetherby Gardens is located off of Goch Way, with this being the only entrance.

Likewise, The Green is accessed only by the entrance off of Hatherden Road.



Green and natural features

Armstrong Rise has plenty of open green spaces, located on both sides of the road. Trees are dotted around the cul-de-sac, with most dwellings benefiting from private gardens to the front and rear.

There are few open green spaces in Wetherby Gardens, but all properties have private front and rear gardens. A line of trees separate the main road from the Gardens, with parking bays behind this being shielded by a small hedgerow.

Communal gardens are provided for those living in flats in The Green.

Landmarks

There are no notable landmarks to mention.

Buildings and details

The dwellings are of 1960s terraced style, and mostly two-storey buildings with the exception of the terraced bungalows at the end of Armstrong Rise. Some benefit from private driveways, whilst parking bays and areas are provided for most.

In Collins Close there are four rows of 6 garages situated next to the parking bays. The buildings are enclosed largely by fences, occasionally combined with hedgerows.



Largely constructed of buff brick with dark brown tile hanging detail or timber clad details to the upper floor frontage.

Wetherby Gardens are largely more modern buildings of heather brick. Like Armstrong Rise, the Gardens benefit from ample highlighted parking bays.

The buildings are largely enclosed by fences and hedgerows to their rear, with open gardens at the front.

The Green is comprised of flats, with some of these buildings having integrated garages. There is significant parking and turning space within the area.



**KEY FINDINGS TO INFORM
NEIGHBOURHOOD PLAN:**

Terraced family dwellings and bungalows

Sited in formal rows

Front parking courts

Rear garage courts

Plot sizes vary, but are relatively small

Enclosed front gardens

Building heights 2 storey

Materials:

- **Render/ brick with contrasting concrete hanging tile**
- **concrete tiled roofs**

Open garden frontages with limited formal garden planting

Key issues:

Lessen impact of parking on street scene

Loss of front gardens to extensive non-permeable surfacing should be avoided

Further planting to be supported.

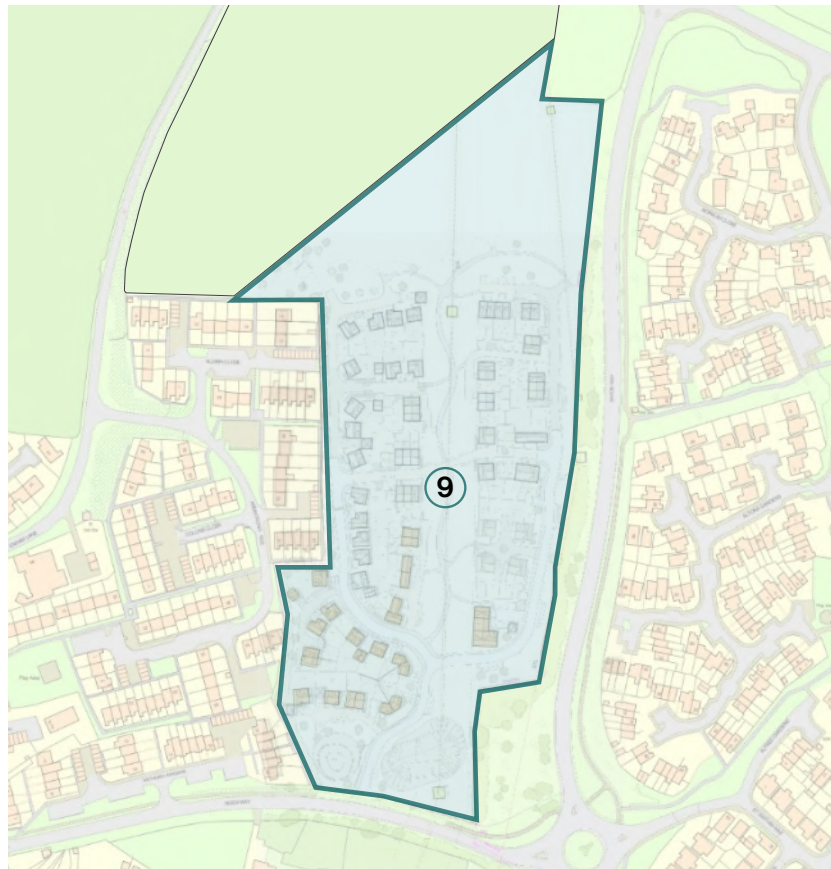


Land use

The land use is residential.

Character Area 9:

Goch Way/ Peake Way - New Housing Development



General overview of character

New housing development, currently under construction.

Layout, Spaces

Layout dominated by the pylons that run through the centre of the site - resulted in a bisected layout, with open space running under the line of pylons.

The dwellings either front the roads or are access via footpath links

Medium Density.

Topography

Land rises north away from Goch Way

Roads, streets, routes

One access point from Goch Way which then splits east and west and runs northwards to avoid the line of pylons.



Green and natural features

Central greenway linear space to be provided through the centre of the site under the pylons, which allows pedestrian access to the main are of open space to the north, which is still awaiting construction.

Informal open space to the front of the site which allows for drainage basin.

Landmarks

There are no notable landmarks to mention.

Buildings and details

The dwellings are two storeys in height, with a mix of detached, semi-detached and terraced forms. The scale and design of the dwellings are sited to respond to the sloping form of the site, with roof heights stepping down through the site.

Facing brick is used on the elevations with a mix of red multi and buff colouration. Roof tiles are plain brown or grey concrete.

Land use

The land use is residential.



KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Mainly semi-detached/ detached family dwellings

Sited on two winding culs de sac

Plot sizes vary, but are relatively small

Deep front gardens with off street parking and majority of plots with garages

Building heights 2 storey

Generic house types

Minimal garden frontages with garden planting

Materials:

- Red multi/ buff brick
- concrete tiled roofs

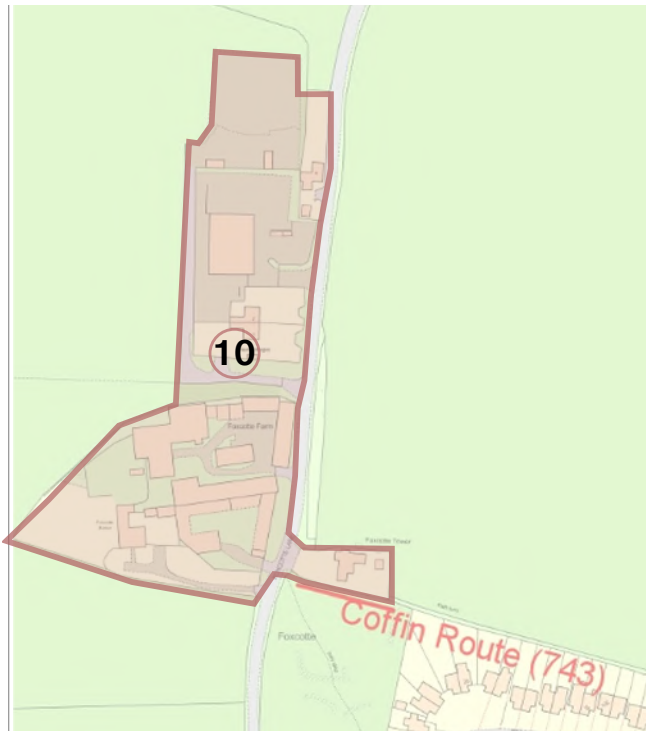
Key issues:

Future new developments should have greater consideration for local character, built form, layout materials and styles.

New development should have greater use of renewable energy.

Better provision for local needs in terms of dwelling mix should be taken into consideration

Character Area 10: Rural area outside of Charlton Village



General overview of character

Foxcote is a separate settlement to the northwest of Charlton largely consisting of a chapel, cottages and farm buildings. The original chapel was demolished and rebuilt circa 1830, with the exception of the tower, which was retained as a mortuary chapel and subsequently converted into a dwelling.

The remaining chapel material was been re-used to build St Thomas' Church in Charlton.



Topography

Predominantly gently sloping northwards, giving wide expansive views into the distance.

Roads, streets, routes

A narrow rural lane lined with mature hedgerows running north - south. No pavement or other urban features, other than overhead power and telephone cables.



Green and natural features

Gently rolling open countryside

The area around the buildings is enclosed by garden planting and hedgerows with open fields and mature trees beyond.

There are extended views of the farmland on either side of the road. This area is adjacent to the designated Local Gap with Penton Mewsey, with extensive views in this direction.

There is a public footpath and a restricted byway which are used by walkers, cyclists and horse riders.

Landmarks

Foxcotte Tower and the Ancient Burial Ground are features prominent features within the area.

Buildings and details

A mix of agricultural buildings including the Grade II listed Foxcotte Tower and Farmhouse. In addition to farm cottages and barns.

Land use

Mixed use - predominantly agricultural

Views

There are unobstructed views across fields. See important viewpoints for more details



KEY FINDINGS TO INFORM NEIGHBOURHOOD PLAN:

Largely agricultural buildings and related dwellings

Sited adjacent to a rural lane

Plot sizes vary, but are relatively large

Off street parking

Building heights 2 storey with imposing focal buildings

Boundary hedgerows

Materials:

- Flint walls with red brick bands and quoins
- Local Brick
- Brickwork in English and Flemish bonds
- Hipped, tiled and thatched roofs

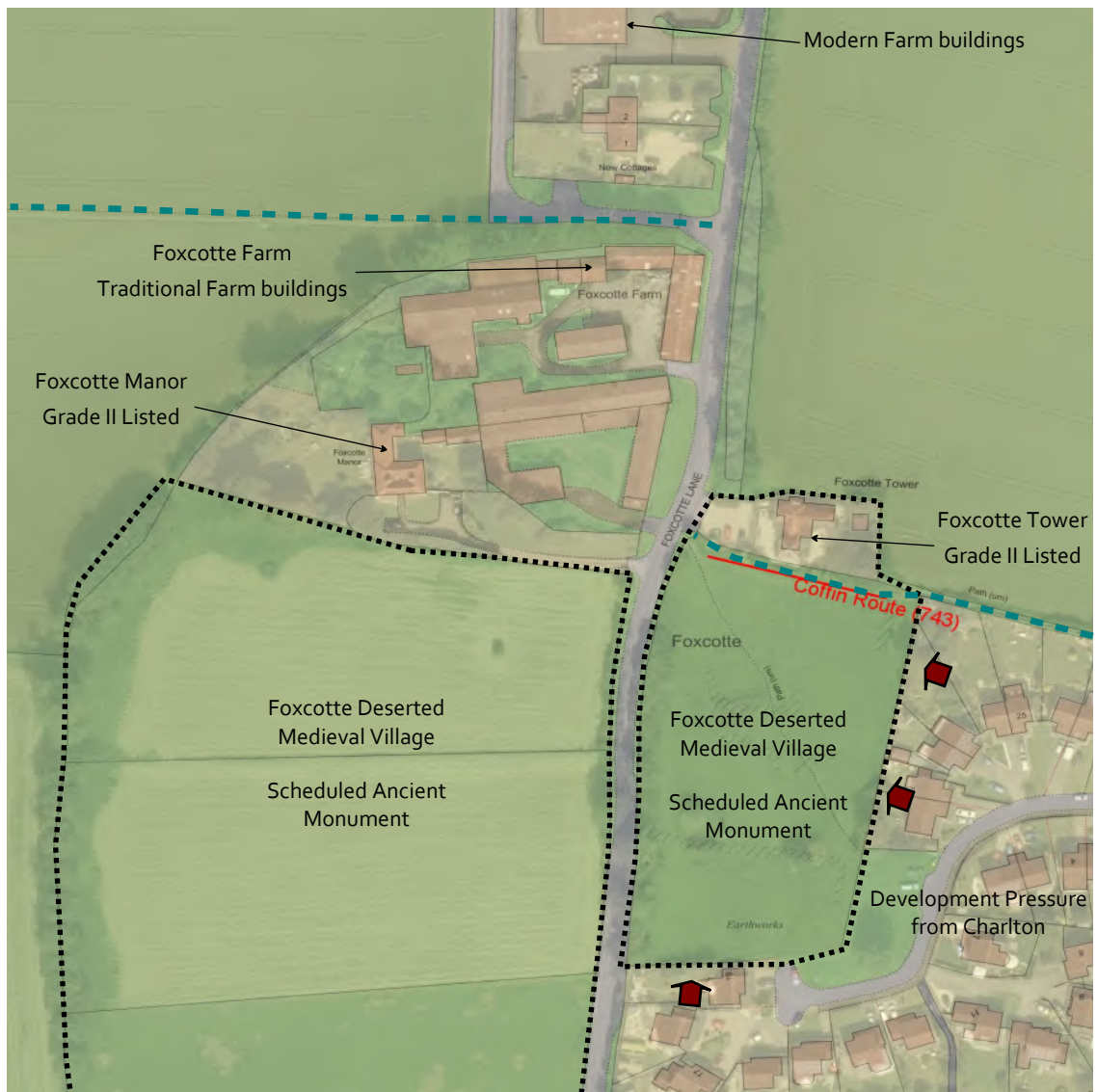
Key issues:

Retain/ Improve setting of heritage assets

Retain the separate identity of Foxcotte. Further built development toward Charlton could erode this.

Support removal of inappropriate development/materials

Encourage sensitive conversion of agricultural buildings in keeping with this rural character.





Northern Parish

General Overview

To the north of Hatherden Road at the roundabout is the cemetery, a multi-purpose sports centre catering for football, rugby and archery with their own clubhouses, a cemetery and a single large residential property.

Permission has also been granted for a crematorium set in the existing wooded grounds with construction taking place at the time of writing.

This area is considered to be an usual cluster of development which although serves the parish is somewhat distant and difficult in terms of pedestrian access

Whilst in the past there has been discussion regarding a pedestrian path to Charlton village it was considered that a pavement alongside Hatherden Road would be too urbanising in character. Potential for future more informal routes may be more appropriate



